

**PARTIAL ROOFING REPLACEMENT  
FOR THE  
READING CITY HALL  
815 WASHINGTON STREET, READING, PA 19601  
FOR  
THE CITY OF READING**



BUCHART HORN  
• ARCHITECTS •



**ARCHITECT**  
Euchart Horn Architects  
100 West Calumet Ave., Frank-

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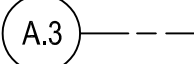
















## DRAWING INDEX

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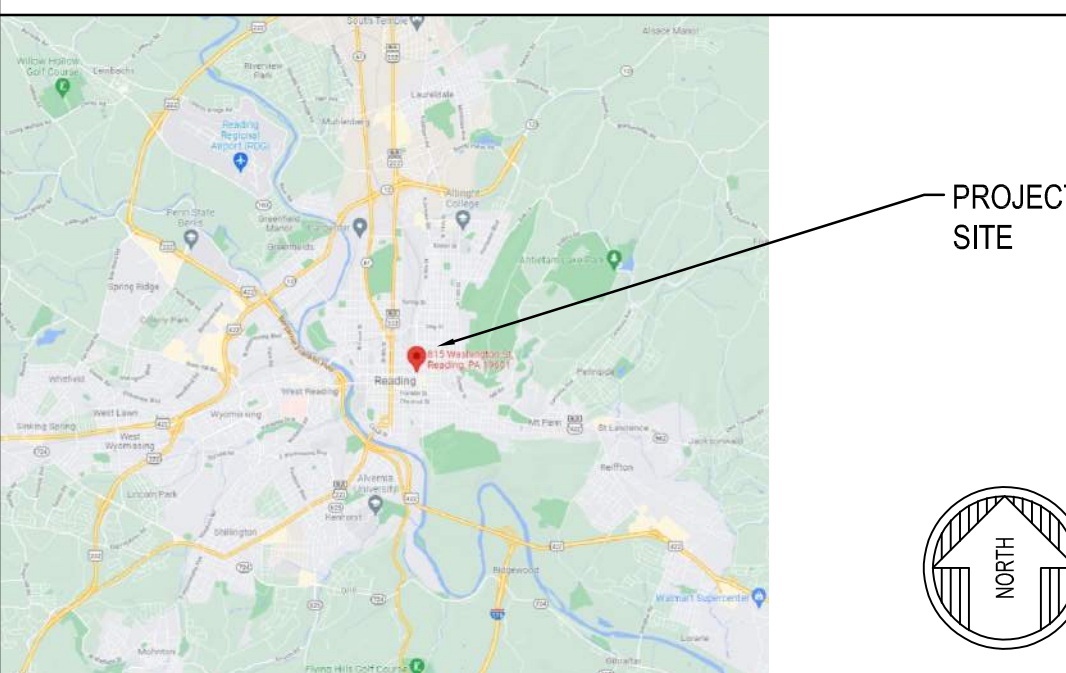
## ABBREVIATIONS

A.C.	ASBESTOS ABATEMENT CONTRACTOR	HDW	HARDWARE	TEMP	TEMPERED
ABV	ABOVE	HGT	HEIGHT	TERR	TERRAZZO
ACT	ADJUSTABLE CEILING TILE	HM	HOLLOW METAL	THICK	THICKNESS
ADA	AMERICANS WITH DISABILITIES ACT	HR	HOUR	THRESH	THRESHOLD
ADJUST	ADJUSTABLE	HVC	HEATING, VENTILATING,	TLT	TOILET
A.F.F.	ABOVE FINISHED FLOOR	J	J&R CONDITIONING	T.M.E.	TO MATCH EXISTING
ALT	ALTERNATE	JAN	JANITOR, JANITOR'S CLOSET	T.O.S.	TOP OF STEEL
ALUM	ALUMINUM	L	LONG LENGTH	TYP	TYPICAL
BH	BULKHEAD	LVR	LAVATORY	VCT	VINYL COMPOSITION TILE
BKG	BLOCKING	LVR	LOUVER	V.I.F.	VERIFY IN FIELD
B.O.	BOTTOM OF	MARB	MARBLE	W	WIDE WIDTH
CB	CABINET	MAX	MAXIMUM	W	WITH
CJ	CONTROL JOINT	MAT	MATERIAL	WO	WITHOUT
CLG	CEILING	M.B.	MARKER BOARD	WD	WOOD
CLD	CLOSET	M.C.	MECHANICAL CONTRACTOR	@	AT
CLR	CLEAR(ANCE)	MECH	MECHANICAL	@	CENTER LINE
CMU	CONCRETE MASONRY UNIT	MFR	MANUFACTURER	Ø	DIAMETER
COL	COLUMN	MIN	MINIMUM	°	DEGREE
CONC	CONCRETE	MIR	MIRROR	#	NUMBER
CONT	CONTINUOUS OR CONTINUE	MISC	MISCELLANEOUS		
COORD	COORDINATE	M.O.	MASONRY OPENING		
CORR	CORRIDOR	MNTD	MOUNTED		
CP	CARPET	MTL	METAL		
CSWK	CASEWORK	N/A	NOT APPLICABLE		
CT	CERAMIC TILE	N.I.C.	NOT IN CONTRACT		
D	DEEP, DEPTH	NO	NUMBER		
DEMO	DEMOLITION	N.T.S.	NOT TO SCALE		
D.F.	DRINKING FOUNTAIN	O.C.	ON CENTER		
DIA	DIAMETER	OPNG	OPENING		
DM	DIMENSION	P.C.	PLUMBING CONTRACTOR		
DWG	DRAWING	PLAS	PLASTER		
E.C.	ELECTRICAL CONTRACTOR	PLAM	PLASTIC LAMINATE		
ELEC	ELECTRIC (AL)	PLBG	PLUMBING		
ELEV	ELEVATION	PT	PAINTED		
EQ	EQUAL	PTTN	PARTITION		
EQUIP	EQUIPMENT	Q.T.	QUARRY TILE		
EX	EXISTING	RB	RUBBER BASE		
EXT	EXTERIOR	R.C.P.	REFLECTED CEILING PLAN		
E.W.C.	ELECTRIC WATER COOLER	REV	REVISION		
F.D.	FLOOR DRAIN	RM	ROOM		
FIN	FINISHED	SF	SQUARE FOOT (FEET)		
FIXT	FIXTURE	SGT	STRUCTURAL GLAZED FACING TILE		
FLR	FLOOR	SIM	SIMILAR		
GA	GAGE GAUGE	SPEC	SPECIFICATION		
GALV	GALVANIZED	STSL	STAINLESS STEEL		
GB	GRAB BAR	STD	STANDARD		
G.C.	GENERAL CONTRACTOR	STL	STEEL		
GWB	GYPSSUM WALL BOARD	STOR	STORAGE		
H	HEIGHT, HIGH	STR	STAIR		
H.C.	HANDICAPPED	T.B.	TACK BOARD		

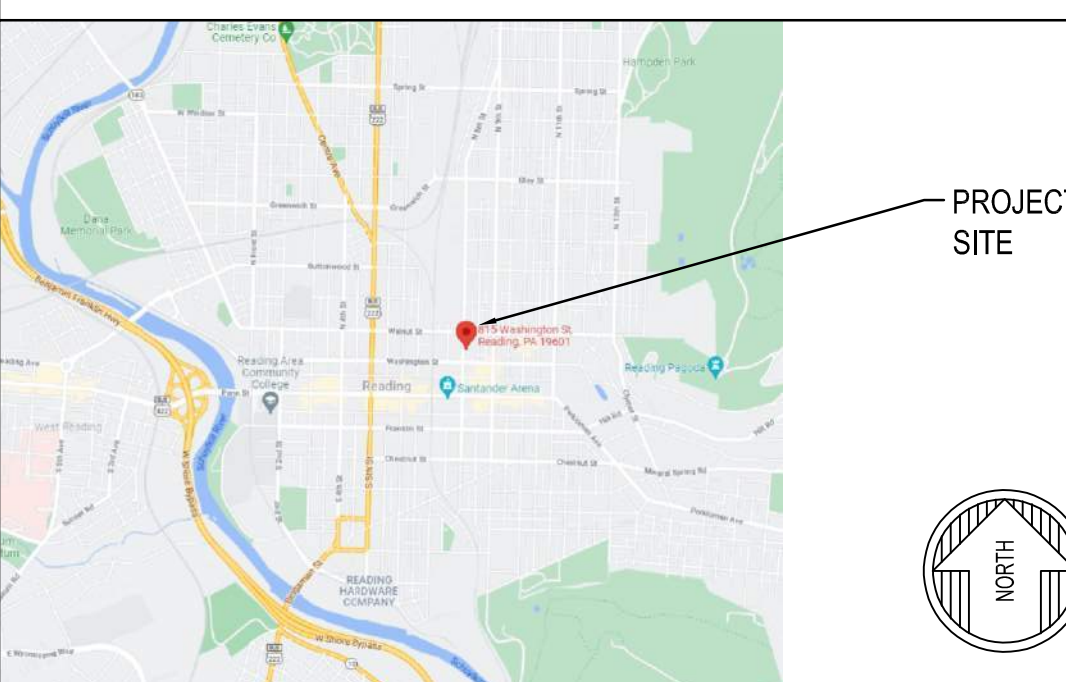
## GRAPHIC SYMBOLS

ELEVATION DATUM		Name		Name
STRUCTURAL COLUMN GRID LINE & TAG				
DOOR TAG				
CEILING TAG	TYPE 	ACT		10'-0"
PARTITION TAG				
ROOM TAG	ROOM NAME 			
KEYNOTE				
REVISION SEQUENCE NUMBER				
SECTION/ EXTERIOR ELEVATION REFERENCE	VIEW REF 			
	SHEET REF			
INTERIOR ELEVATION REFERENCE	VIEW REF 	A		
	SHEET REF			
DETAIL / CALLOUT REFERENCE	VIEW REF 			
	SHEET REF			

## VICINITY MAP



## SITE LOCATION MAP



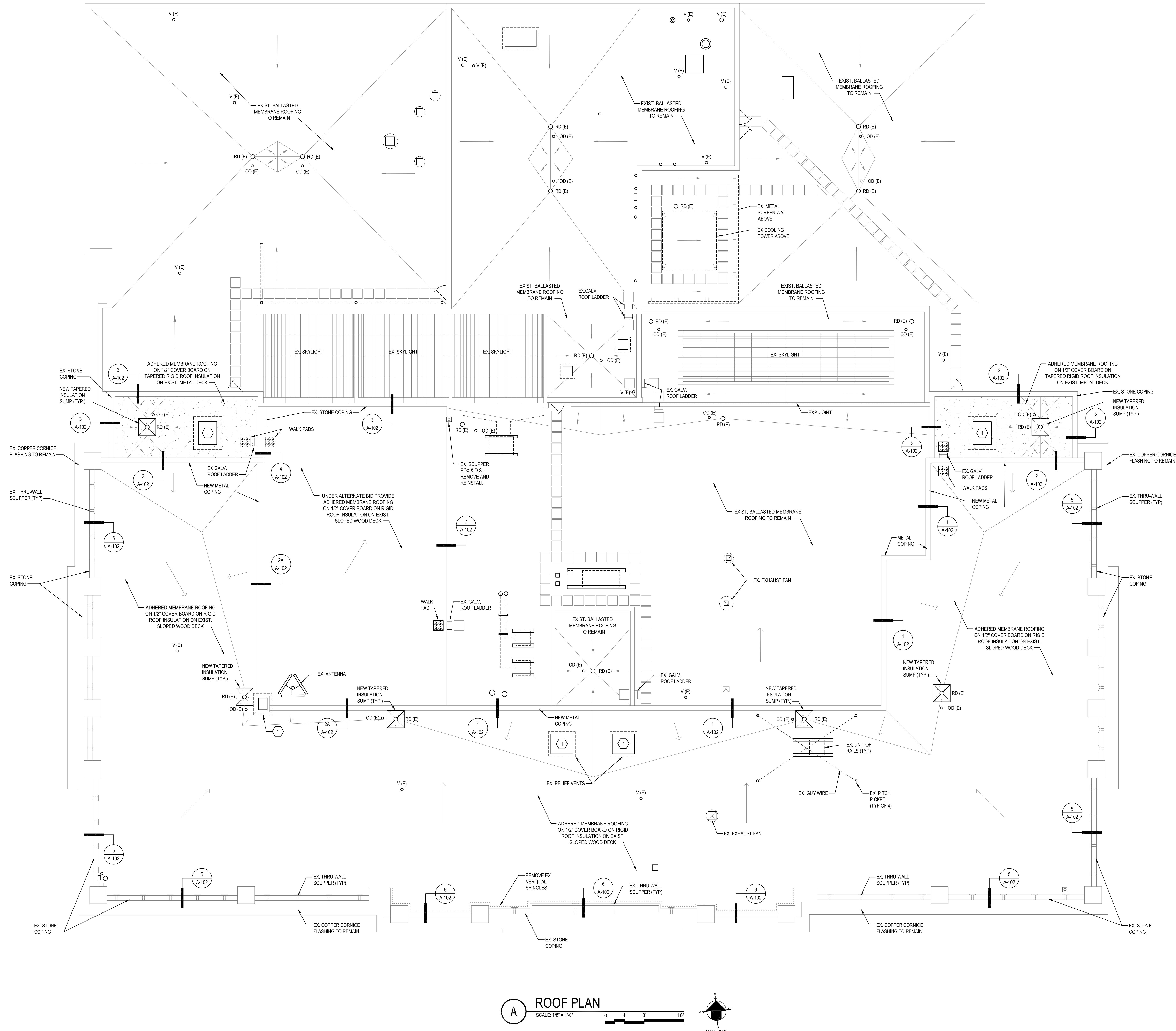
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G-001

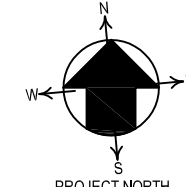
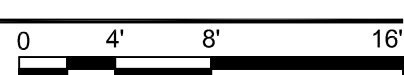
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**ROOF PLAN**  
SCALE: 1/8" = 1'-0"



## GENERAL NOTES

- DO NOT SCALE DRAWINGS. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND EXISTING CONDITIONS PRIOR TO PROCEEDING WITH THE WORK.
- CONTRACTOR SHALL VERIFY EXACT SIZE, LOCATION AND QUANTITY OF ALL EXISTING HVAC, PLUMBING AND ELECTRICAL EQUIPMENT AND PENETRATIONS.
- CONTRACTOR SHALL COORDINATE SEQUENCING OF THE WORK WITH THE OWNER.
- SQUARE FOOTAGES INDICATED ON THE KEY PLAN ARE APPROXIMATE. CONTRACTOR SHALL BE RESPONSIBLE FOR ACTUAL SQUARE FOOT QUANTITIES.
- AT ROOFING AREAS, REMOVE EXISTING PRECAST CONCRETE WALKWAY PADS, STONE BALLAST, METAL FASCIA AND/OR COPING, MEMBRANE ROOFING, MEMBRANE FLASHINGS AND TERMINATION BASES AT WALLS/PARAPET WALLS, VERTICAL ASPHALT SHINGLE FLASHING AT PARAPET WALLS, AND ROOF INSULATION DOWN TO THE EXISTING ROOF DECK. REMOVE ANY EXISTING CARPETED ROOF CURBS AND INFL. OPENINGS WITH NEW METAL OR WOOD DECK TO MATCH EXISTING UNDER UNIT PRICES. REPLACE ANY EXISTING DAMAGED OR DETERIORATED WOOD OR METAL ROOF DECK WITH NEW TO MATCH EXISTING AND ANY DAMAGED OR DETERIORATED WOOD BLOCKING WITH NEW TREATED WOOD BLOCKING TO MATCH EXISTING. INSTALL NEW MECHANICALLY FASTENED RIGID INSULATION 6\"/>
- REMOVE ANY METAL COUNTERFLASHING THAT OCCURS DIRECTLY UNDER EXISTING STONE COPING THAT IS DETAILED TO RECEIVE NEW MEMBRANE FLASHING AND METAL COPING.
- REFER TO SPECIFICATIONS FOR FURTHER DESCRIPTIONS OF WORK INCLUDING ALTERNATES AND UNIT PRICES.
- ANY NEW TAPERED INSULATION SHALL SLOPE 1/8\"/>
- AT ROOFING AREAS, PROVIDE TAPERED INSULATION CRICKETS AT THE HIGH SIDE OF ALL ROOF CURBS, WALLS, ETC. TO PROVIDE POSITIVE SLOPE TO DRAINS AND/OR GUTTERS.
- EXTEND ALL EXISTING VENT PIPES AND EQUIPMENT CURBS WHERE REQUIRED TO MAINTAIN MINIMUM EXTENSION ABOVE NEW ROOFING ELEVATION.
- EXISTING GUTTERS AND DOWNSPOUTS TO REMAIN WHERE OCCURS. REMOVE AND REINSTALL AS REQUIRED.
- AT ROOFING AREAS, PROVIDE NEW MEMBRANE WALKWAY PADS IN LOCATIONS AS SHOWN ON THE ROOF PLAN.
- AT ROOFING AREAS, PROVIDE NEW METAL REPLACEMENT DOMESTRAINER WHERE MISSING OR DAMAGED FOR EXISTING ROOF DRAINS TO REMAIN.
- AT ROOFING AREAS, EXISTING EXTERIOR ROOF LADDERS ARE GALVANIZED STEEL AND ARE NOT TO BE PAINTED.
- NEW ROOFING MATERIALS AND ACCESSORIES SHALL BE INSTALLED AS PER MANUFACTURER'S RECOMMENDATIONS AND REQUIREMENTS.
- NEW METAL COPINGS AND GRAVEL STOPS SHALL BE FACTORY FINISHED IN COLOR TO BE SELECTED BY THE ARCHITECT. NEW METAL COPINGS SHALL HAVE FACTORY INTERWELDED CORNERS.
- TOILET FACILITIES WILL NOT BE PROVIDED IN THE BUILDING. REFER TO THE SPECIFICATIONS FOR TEMPORARY FACILITIES.
- ANY COPPER FLASHING, COPING, ETC. TO BE REMOVED AND NOT REUSED SHALL BE TURNED OVER TO THE OWNER.
- REMOVE ANY UNUSED WALL BRACKETS THAT OCCUR AT PORTIONS OF WALLS/PARAPET WALLS THAT ARE TO RECEIVE NEW MEMBRANE FLASHING.

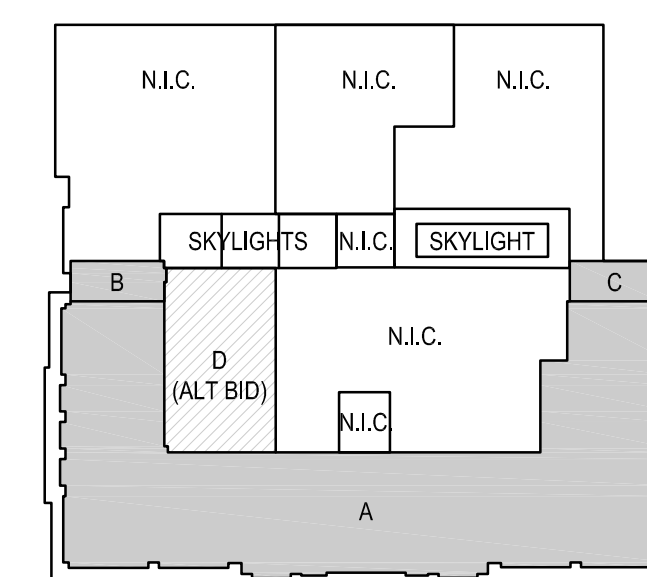
## ROOF PLAN LEGEND

- NEW TAPERED INSULATION, SLOPE 1/8\"/>
- NEW WALK PADS
- EXISTING ROOF TOP EQUIPMENT FOR HVAC, PLUMBING AND/OR ELECTRICAL
- DIRECTION OF EXISTING STRUCTURAL ROOF SLOPE (DOWN)
- DIRECTION OF EXISTING OR NEW TAPERED INSULATION ROOF SLOPE (DOWN)
- EXISTING ROOF DRAIN TO REMAIN, REMOVE & REINSTALL AS REQ'D.
- EXISTING OVERFLOW DRAIN TO REMAIN
- EXISTING DOWNSPOUT TO REMAIN
- H.P. - HIGH POINT OF ROOF
- L.P. - LOW POINT OF ROOF
- V(E) - EXISTING VENT PIPE

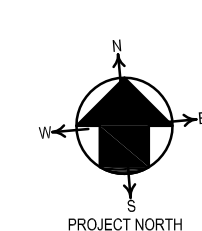
## ROOF PLAN KEY NOTES

- PREP AND PAINT EXISTING WOOD.

## KEY PLAN



SQUARE FOOTAGES (APPROX.)	
AREA A	11,350 SF
AREA B	350 SF
AREA C	350 SF
TOTAL (BASE BID)	12,050 SF
AREA D (ALT BID)	2,250 SF



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REVISIONS	MARK	ISSUED DATE	DESCRIPTION

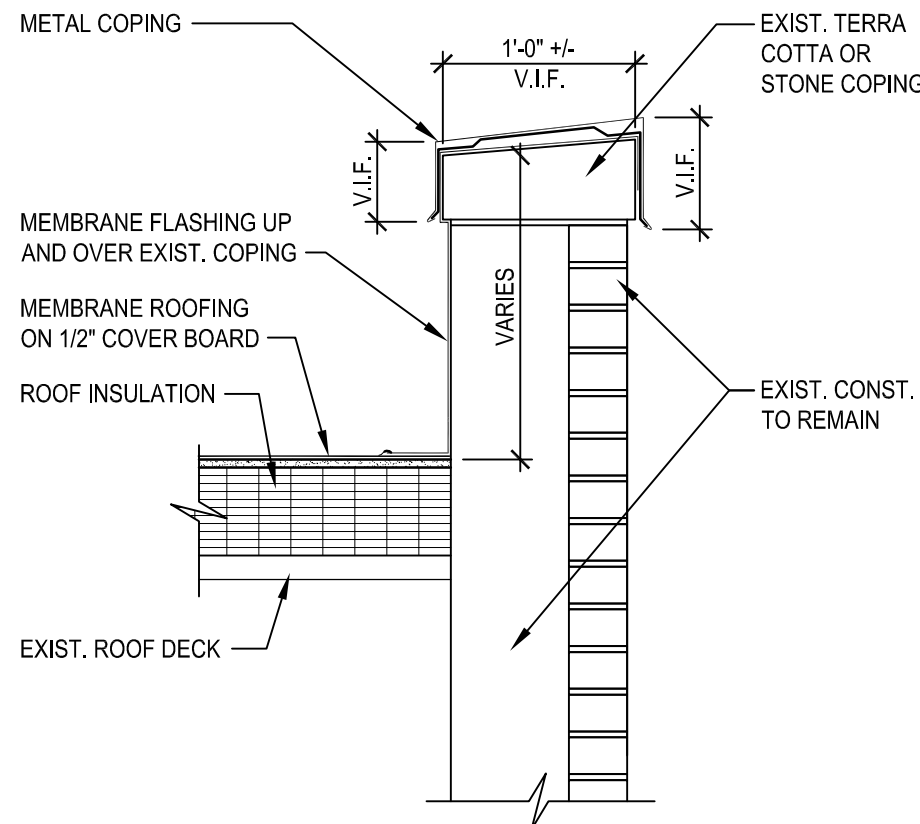
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ISSUED DATE: 12/2021  
DRAWN BY: ALH  
CHECKED BY: ALH  
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ROOF PLAN

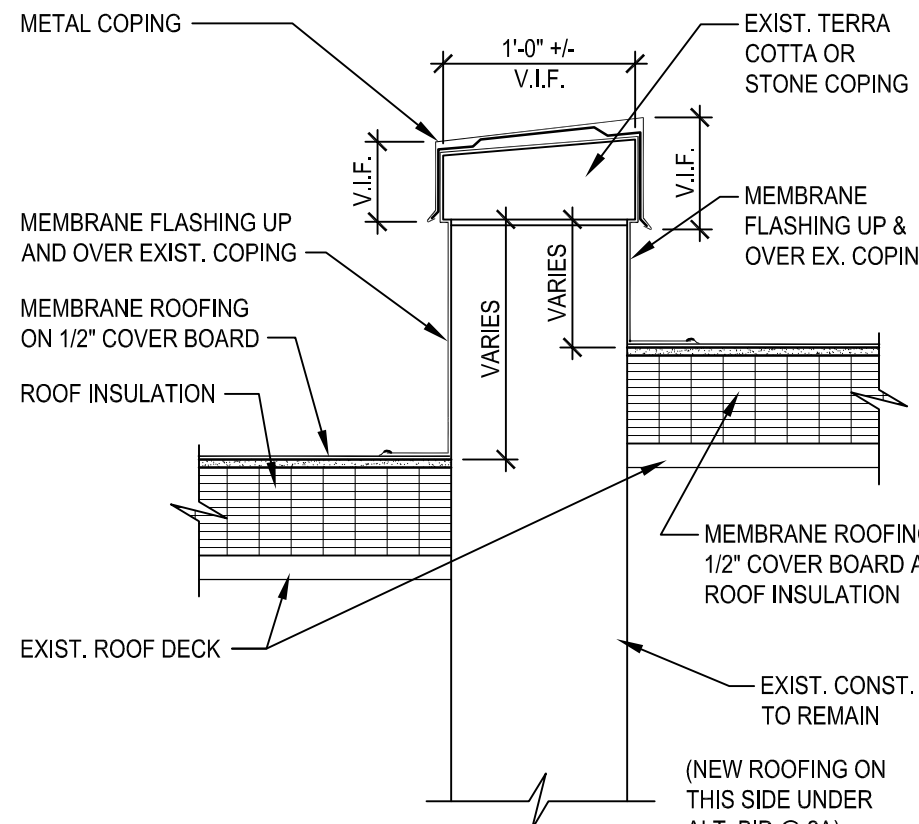
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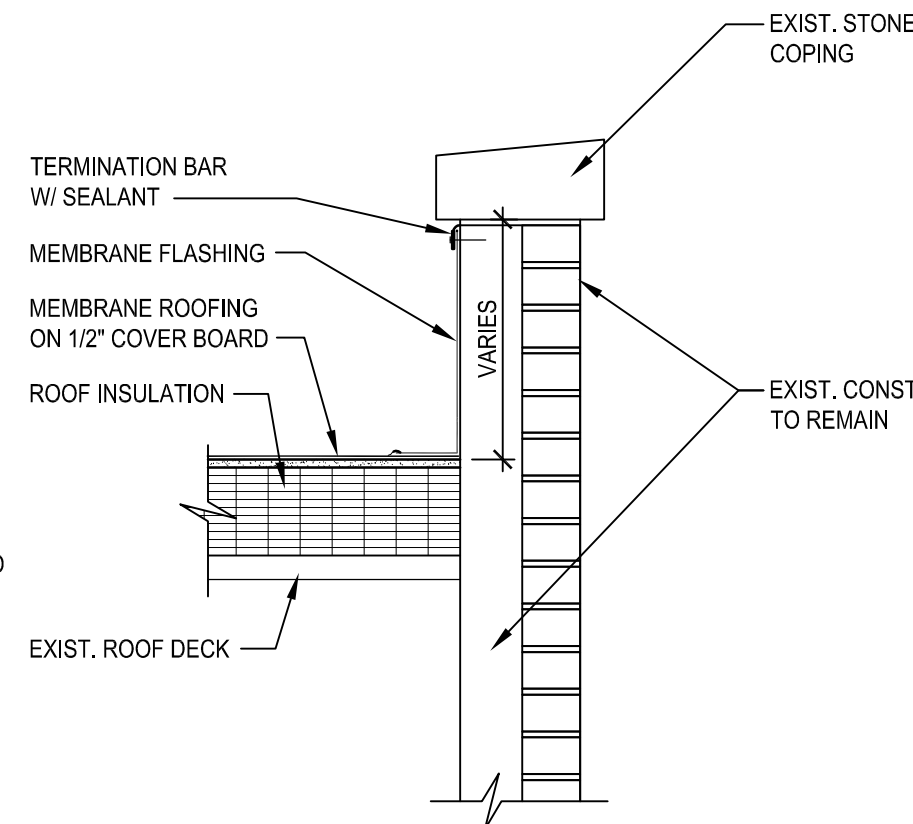




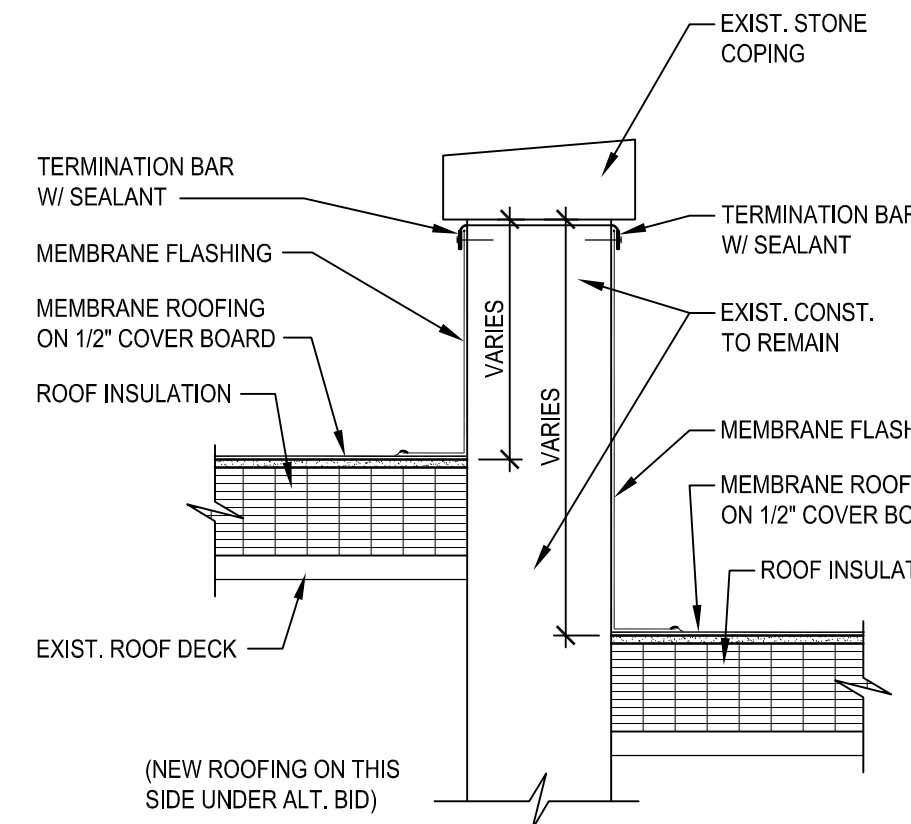
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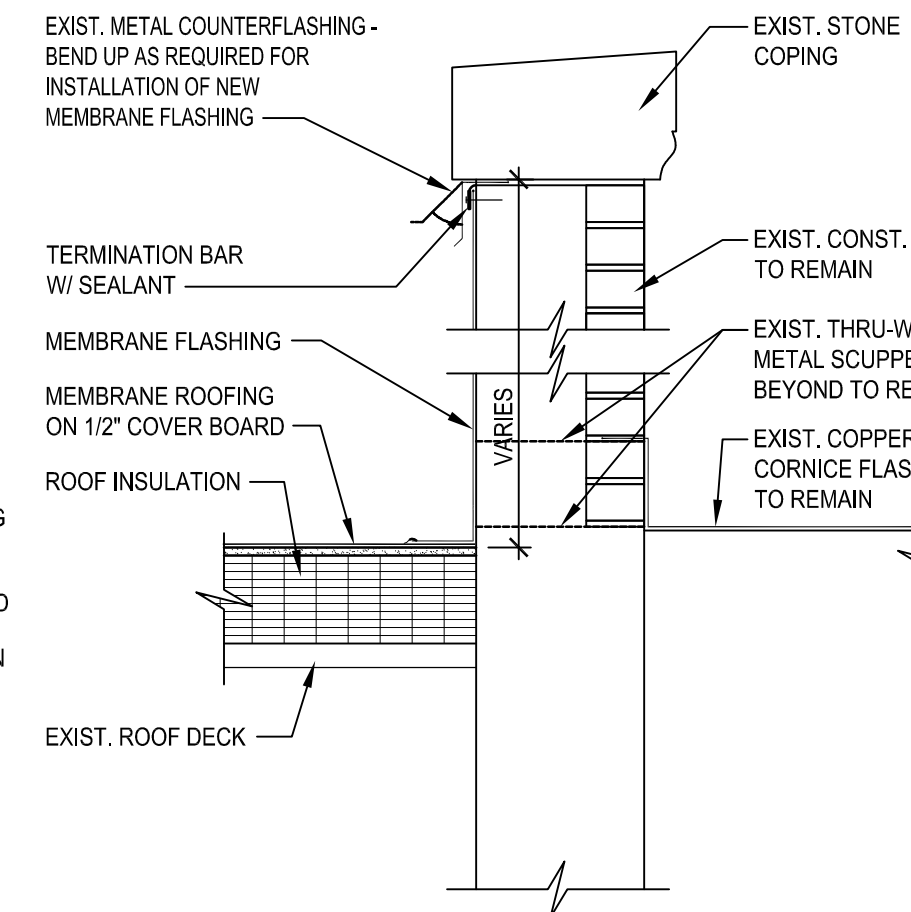
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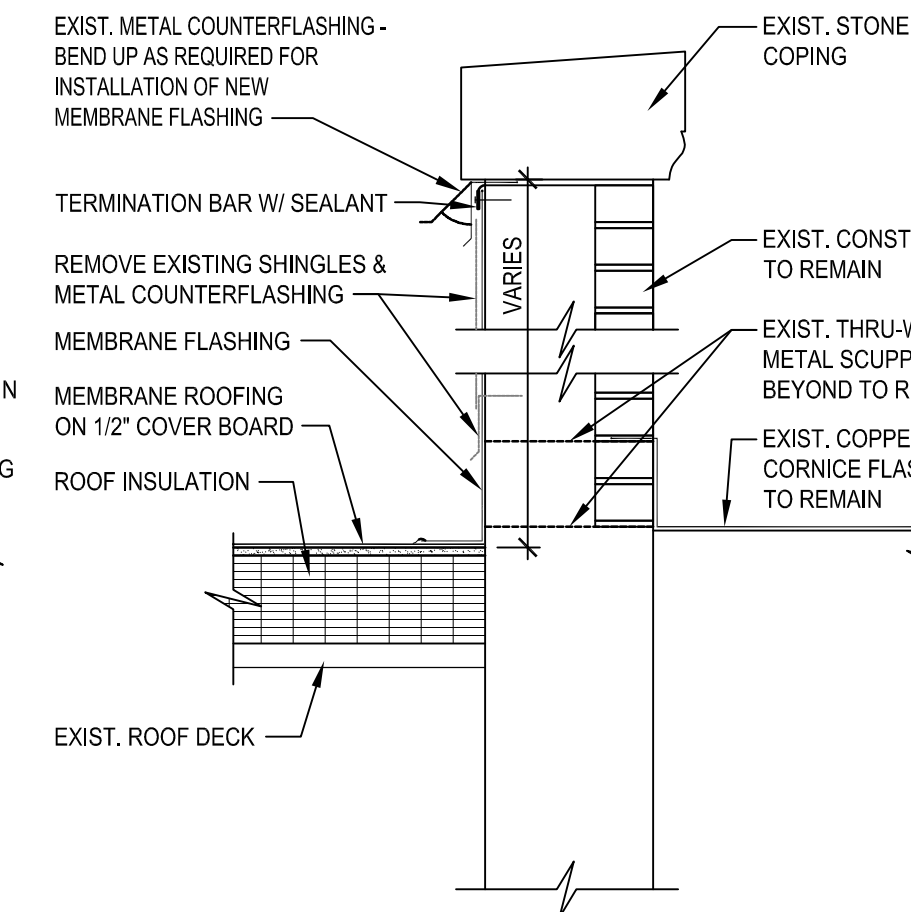
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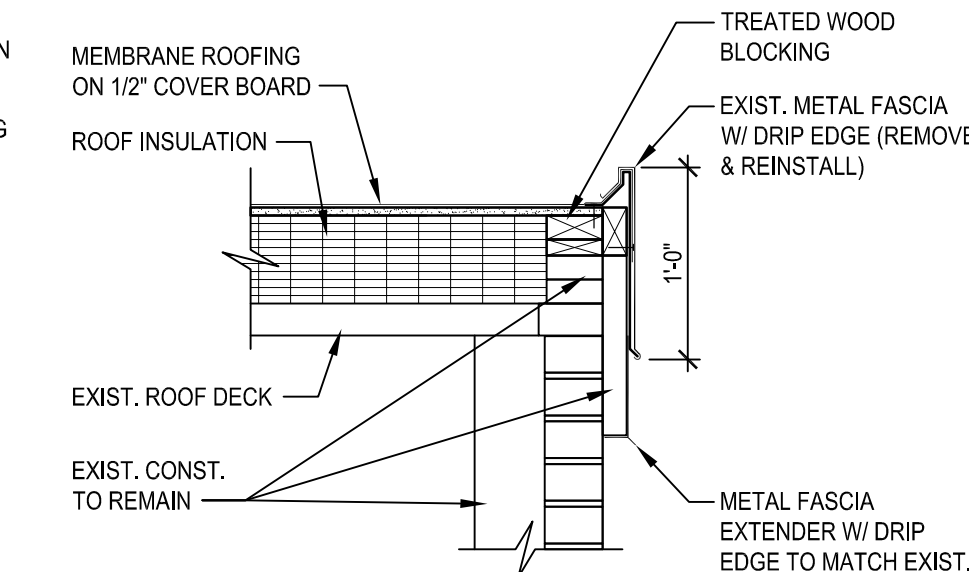
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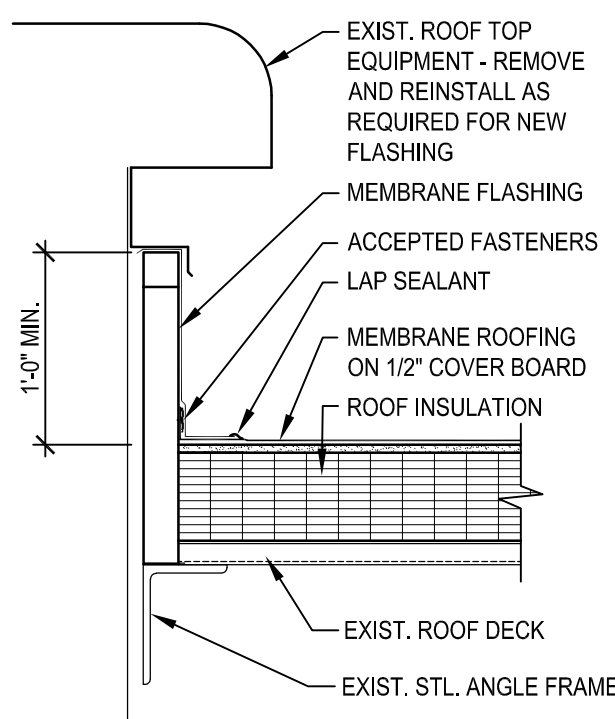
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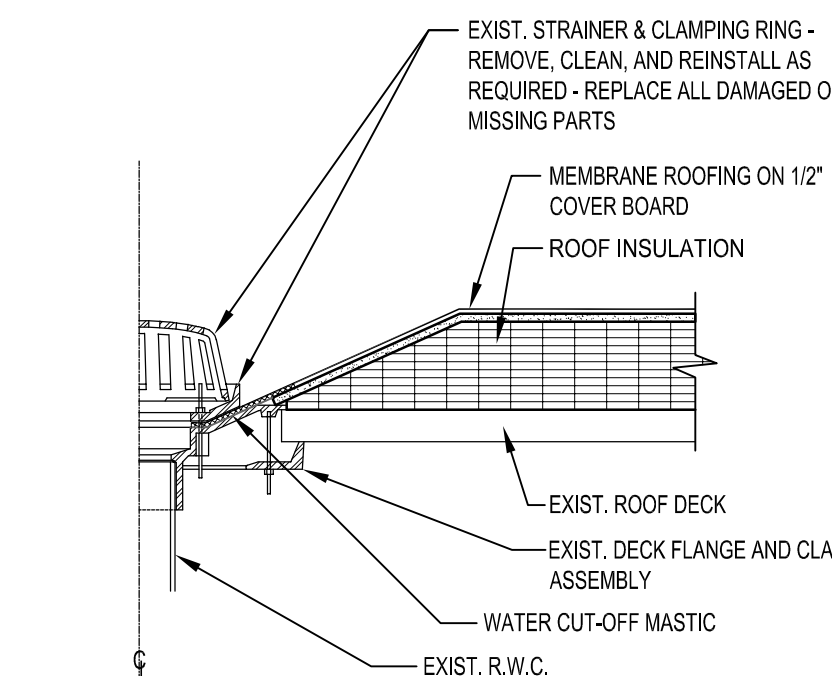
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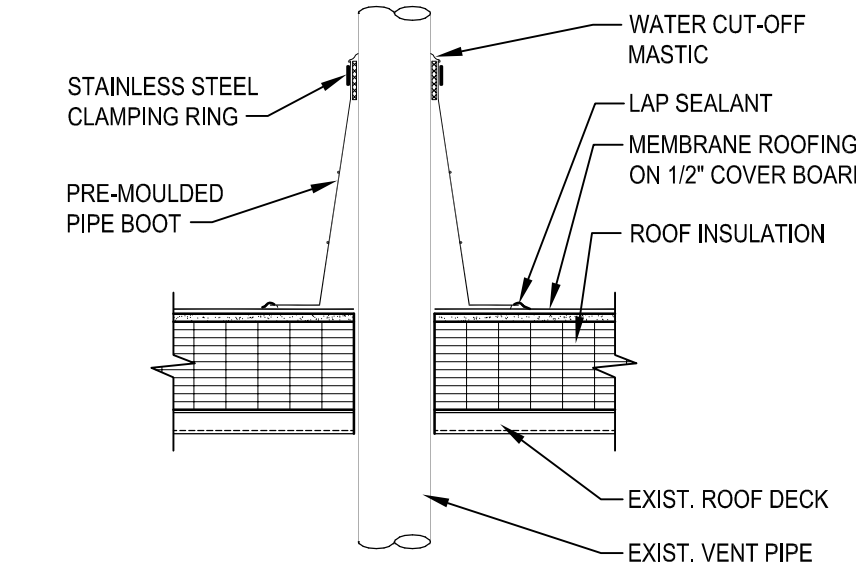
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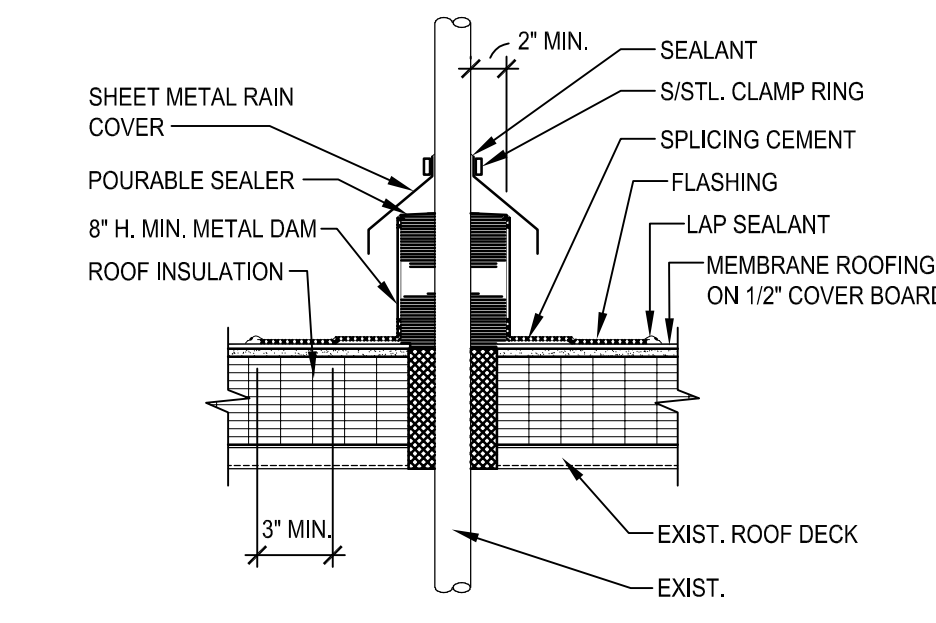
A TYP. EQUIP. CURB DETAIL  
SCALE: 1" = 1'-0"



B TYP. ROOF DRAIN DETAIL  
SCALE: 1" = 1'-0"



C TYP. VENT PIPE DETAIL  
SCALE: 1" = 1'-0"



D TYP. PITCH POCKET DETAIL  
SCALE: 1" = 1'-0"

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